

# PROPOSED NEW RV & BOAT GARAGE

FOR: MR. & MRS. \_\_\_\_\_ MATES

XXXX RYAN DR. ESCONDIDO, CA. 92025

(A.P. # : 271-042-21-00)

**MAR-Co.**  
 HOUSE PLANS & DESIGNS  
 PLANS DRAFTING DESIGN BUILDING PERMITS  
 MARCO A. LAUREANO  
 LICENSE: 16966  
 WWW.MARCOPLANS.COM  
 760-805-2338  
 760-911-2878

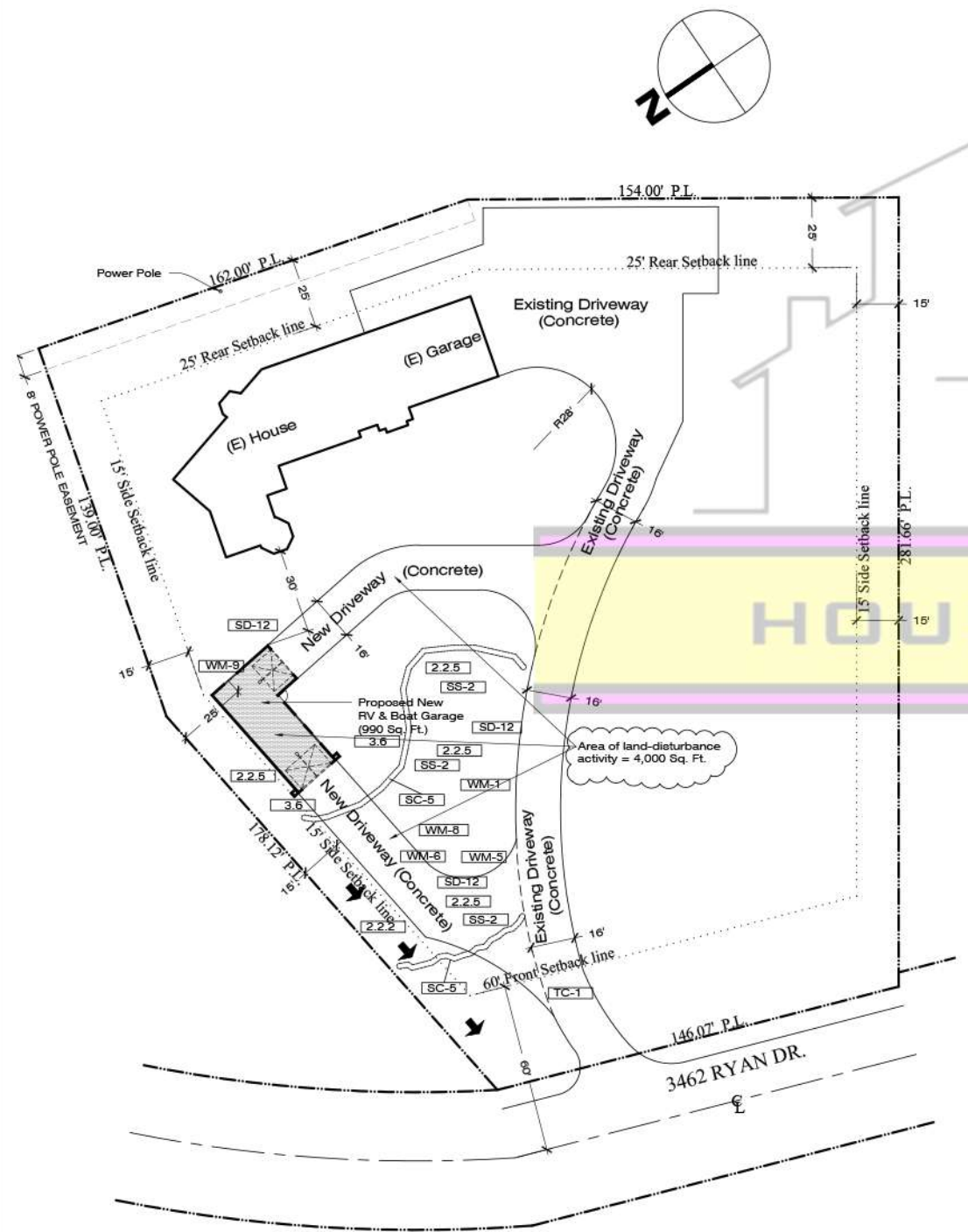
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PROJECT NAME & ADDRESS:  
**MATES' NEW RV & BOAT GARAGE**  
 XXXX RYAN DR. ESCONDIDO, CA. 92025

REVISIONS:  
 DATE: **09/25/2014**  
 SCALE: AS SPECIFIED  
 DRAWN & PREPARED BY:  
 MARCO A. LAUREANO  
 SHEET: **T-S-R**  
 OF: **11**

### BMP'S LEGEND

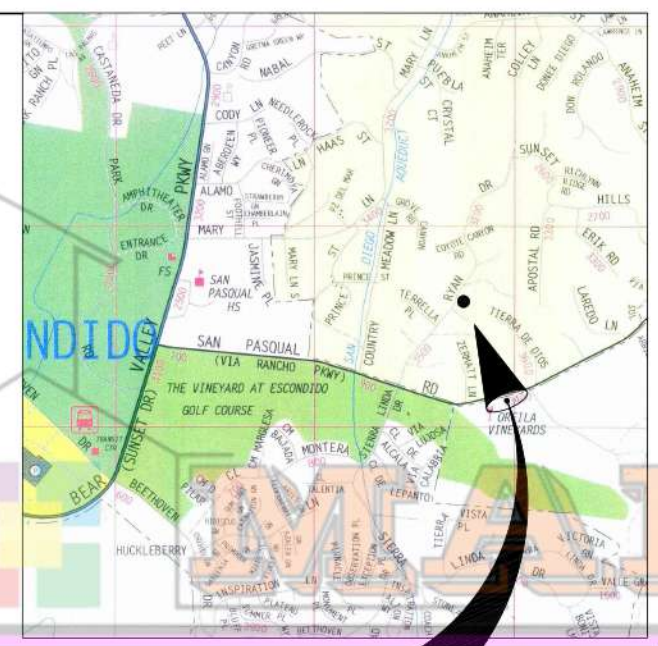
<b>SS-9</b> BROWN DITCH	<b>SC-1</b> SILT FENCE
<b>SS-9</b> BERM	<b>SC-5</b> FIBER ROLLS
DIRECTION OF LOT DRAINAGE	<b>SC-6</b> GRAVEL BAGS
<b>WM-1</b> MATERIAL DELIVERY & STORAGE	<b>SC-32</b> TRASH STORAGE
<b>WM-5</b> SOLID WASTE MANAGEMENT	<b>TC-1</b> STABILIZED CONST. ENTRANCE
<b>WM-8</b> HAZARDOUS WASTE MANAGEMENT	<b>TC-3</b> ENTRANCE/EXIT TIRE WASH
<b>WM-8</b> CONCRETE WASTE MANAGEMENT	<b>SS-2</b> PRESERVATION OF EXIST. VEGETATION
<b>WM-9</b> SANITARY WASTE MANAGEMENT	<b>2.2.2</b> MINIMIZE DIST. TO NAT. DRAINAGES
<b>PERMANENT BMP'S:</b>	<b>2.2.3</b> MINIMIZE IMPERVIOUS SURFACES
<b>SD-12</b> IMPLEMENTATION OF EFFICIENT IRRIGATION SYSTEMS	<b>2.2.5</b> DRAIN RUNOFF FROM IMPERVIOUS SURFACES TO PERVIOUS
	<b>3.6</b> LID BUILDING DESIGN



- PLOT PLAN NOTES:**
- 1- FINISH GRADING SHALL DIRECT SURFACE WATER AWAY FROM BUILDING FOUNDATIONS FOR AT LEAST 5 FEET.
  - 2- THIS HOUSE IS SERVED WITH NATURAL GAS
  - 3- THIS PROJECT WILL COMPLY WITH THE COUNTY OF SAN DIEGO LIGHTING ORDINANCE
  - 4- ENTIRE LOT MUST BE FUEL MODIFIED
  - 5- SPECIAL INSPECTION REQUIRED

**PLOT PLAN** 1" = 30'-0"

### VICINITY MAP



PROJECT SITE  
 THOMAS GUIDE : PAGE 1150 (D-2)

### ABBREVIATIONS

AB	ANCHOR BOLT	NTS	NOT TO SCALE
ABV	ABOVE	MISC	MISCELLANEOUS
B, BOT	BOTTOM	(N)	NEW
BM	BEAM	O/	OVER
BRG	BEARING	OC	ON CENTER
BP	BASE PLATE	PF	POUNDS PER SQUARE FOOT
BTUN	BETWEEN	PFI	POUNDS PER SQUARE INCH
CJ	CEILING JOIST	PL	PLATE
CLR	CLEAR	PT	POINT
CMU	CONCRETE MASONRY UNIT	R	RADIUS
COL	COLUMN	RFR	RAFTER
CONC	CONCRETE	REF	REFERENCE, REFERENCED
CONT	CONTINUOUS	REIN	REINFORCED, REINFORCEMENT
DET	DETAIL	REQD	REQUIRED
DIA	DIAMETER	RJ	ROOF JOIST
DP	DEEP	SCHED	SCHEDULE
(E)	EXISTING	SECT	SECTION
EA	EACH	SF	SQUARE FOOT
EF	EACH FACE	SHT	SHEET
EL	ELEVATION	SM	SIMILAR
EQ	EQUAL	SM6	SHEET METAL SCREW
EU	EACH WAY	SPEC	SPECIFICATION
EXIST	EXISTING	SQ	SQUARE
FG	FOUNDATION	STD	STANDARD
FJ	FLOOR JOIST	STIFF, STRN	STIFFENER
FLG	FLANGE	STL	STEEL
FLR	FLOOR	STRUCT	STRUCTURAL
FW	FACE OF WALL	T/B	TOP AND BOTTOM
FTG	FOOTING	TH, THK	THICK
GA	GAGE	THR, THRD	THREAD, THREADED
GALV	GALVANIZED	TOC	TOP OF CONCRETE
GWB	GYPSUM WALLBOARD	TOF	TOP OF FLOOR
		TOS	TOP OF STEEL
		TOW	TOP OF WALL
		TYP	TYPICAL
		UNO	UNLESS NOTED OTHERWISE
		VERT	VERTICAL
		W	WIDE
		W/	WITH
		WF	WIDE FLANGE
		WT	WEIGHT
		WUF	WELDED WIRE FABRIC
		PP	PER PLAN

### LOT CALCULATIONS

LOT AREA	1.67 AC. - 72,745 SQ.FT.
(E) BUILDING (HOUSE & GARAGE)	3,297 SQ.FT.
PROPOSED (N) RV & BOAT GARAGE	990 SQ.FT.
TOTAL BLDG. AREA AS SHOWN	4,287 SQ.FT.
LOT COVERAGE AREA (INCLUDING NEW ADDITION)	= 4,287 SQ. FT.

**BUILDING USE :** SINGLE FAMILY RESIDENCE  
**ZONE :** SR-1  
**ASSESORS PARCEL #** 271-042--21-00

### GENERAL NOTES

- 1- THE PROJECT SHALL BE GOVERNED BY THE FOLLOWING CODES AS ADOPTED BY THE COUNTY OF SAN DIEGO:  
 2013 CALIFORNIA RESIDENTIAL CODE AND/OR  
 2013 CALIFORNIA BUILDING CODE AS APPLICABLE  
 2013 CALIFORNIA GREEN BUILDING STANDARD CODE  
 2013 CALIFORNIA ELECTRICAL CODE  
 2013 CALIFORNIA PLUMBING CODE  
 2013 CALIFORNIA FIRE CODE  
 2008 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS
- 2- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED IN THE FIELD BY ALL SUB-CONTRACTORS
- 3- ANY DISCREPANCY IN DIMENSIONS AND/OR DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF WORK
- 4- PLAN DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED
- 5- CONTRACTOR/SUBCONTRACTOR SHALL VERIFY THE MOST CURRENT DRAWINGS WITH THE OWNER OR DESIGNER
- 6- CONTRACTOR/SUB-CONTRACTOR SHALL BRING TO THE ATTENTION OF THE OWNER OR ARCHITECT ANY DISCREPANCIES BETWEEN THE PLAN AND EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK
- 7- EXISTING CONDITIONS SHALL BE VERIFIED FIRST-HAND BY CONTRACTOR/SUB-CONTRACTOR AND NO ALLOWANCE SHALL BE MADE FOR FAILURE TO COMPLY ABOVE
- 8- ALL WORK PERFORMED BY THE CONTRACTOR/SUB-CONTRACTOR SHALL COMPLY WITH THE EXISTING APPLICABLE BUILDING CODES INCLUDING LOCAL JURISDICTIONS
- 9- ANY MATERIALS STORED ON-SITE SHALL BE COVERED AND KEPT CLEAN AND DRY

### SCOPE OF WORK:

1.- NEW RV & BOAT GARAGE (990 SQ. FT.)

### SHEET INDEX

T-S-R	PLOT PLAN, LOCATION PLAN, GENERAL NOTES LOT CALCS. AND ZONING INFO
PPFD-R	PLOT PLAN & CITY OF ESCONDIDO FIRE DEPARTMENT RELATED NOTES
A-1-R	GARAGE FLOOR PLAN & FOUNDATION PLAN, PROJECT NOTES, FOUNDATION NOTES, IGNITION-RESISTANT CONSTRUCTION NOTES, SHEARWALLS SCHEDULE & SPECIAL INSPECTION FORM
A-2-R	ELEVATIONS AND ATTIC VENT CALCULATIONS
A-3-R	ROOF FRAMING PLAN, SECTIONS, FRAMING NOTES AND ROOF DIAPHRAGM SCHEDULE
D-1-R	DETAILS
S-1	STRUCTURAL NOTES
S-2	TYP. STRUCTURAL DETAIL
SSW1	SIMPSON STEEL STRONG WALLS
SSW2	SIMPSON STEEL STRONG WALLS
MCS	MINIMUM CONSTRUCTION SPECIFICATIONS